



DATE: July 12, 2022 AGENDA ITEM NO. 4.A.

TO: Historic & Cultural Preservation Committee

FROM: Isabel Castellano, Historic Preservation Specialist
Larissa Alchin, Assistant Planner

REVIEWED BY: Andrew Trippel, AICP, Planning Manager

SUBJECT: **Amy's Kitchen Corporate Office**
Major Historic Site Plan and Architectural Review (HSPAR)
Address: 109 Kentucky St
APN: 006-363-020
File No: PLSR-2022-0018

RECOMMENDATION

It is recommended that the Historic and Cultural Preservation Committee (HCPC) adopt a resolution (Attachment A) approving Historic Site Plan and Architectural Review (HSPAR) for alterations to an existing three-story commercial structure located at 109 Kentucky Street (APN 006-363-020) within the Historic Commercial District, Parking Assessment District, Theater District, and Mixed Use 2 (MU2) zoning district, subject to conditions of approval.

BACKGROUND

Project Review Process

On January 26, 2022, a Minor Conditional Use Permit (CUP) application was received by the Planning Division, by the applicant Amy's Kitchen, that proposed an *Office – Headquarters, or Processing* land use throughout the former, *The Leader and Carithers Department Store*, located at 109 Kentucky Street. Amy's Kitchen Corporate Office, as a single tenant occupying the former department store is in keeping with provisions of the Implementing Zoning Ordinance (IZO), the Minor CUP was approved with conditions by the Interim Community Development Director on April 7, 2022, following a required public noticing period that included publication of the notice in the Argus-Courier on March 10, 2022.

On March 29, 2022, a HSPAR application for exterior alterations of the subject property was received by Planning Division and on May 8, 2022 the applicant submitted its response to the Incompleteness Letter and addressed City staff's concerns. The project was deemed complete for planning review and a Completeness Letter was provided outlining the next steps for public review.

On June 11, 2022, a building permit application for demolition work of non-structural, interior-only features on non-structural partitions, first and second level restrooms, light fixtures, mechanical equipment, and associated ductwork was submitted. No new work is included in the scope. The requested interior demolition permit was approved on June 28, 2022.

The item before HCPC for review includes proposed exterior modifications only. Details describing the scope of modifications are further described in the following sections.

Project Location

The project site is located at 109 Kentucky Street, within the Historic Commercial District, Parking Assessment District, Theater District, and the Mixed Use 2 (MU2) zoning district. The site is adjacent to the southern perimeter of the Historic Commercial District. Referencing the Sanborn map dated 1910, the site previously contained multiple low-level commercial and lodging structures prior to the construction of the department store.

Figure 1: Project Location.



Figure 2: Sanborn Map, 1910.

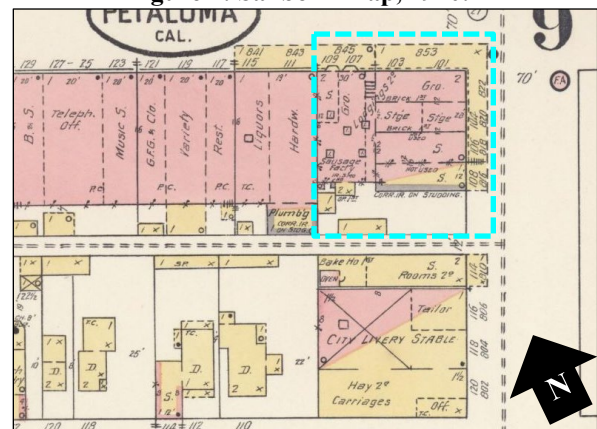
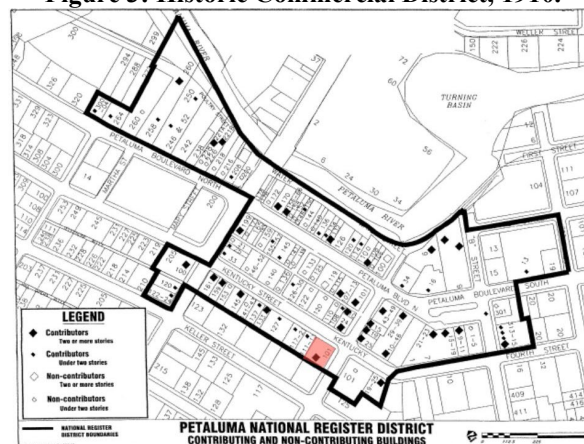


Figure 3: Historic Commercial District, 1910.



Historic Context

Supporting materials for the proposed project include a *Proposed Project Impact Analysis*, prepared by Page & Turnbull, dated May 6, 2022, (Attachment E) which provides a brief building description and site history of the former *The Leader* and *Carithers Department Store* and

evaluates the proposed design. Within the site's history includes Petaluma's Historic Commercial District's significance and boundary, association with contributing and non-contributing structures, Secretary of the Interior's Standards in accordance with California Environmental Quality Act (CEQA) framework, and the Historic Commercial District's Design Guidelines. Within the report, Page & Turnbull have demonstrated support for the subject building's existing Streamline Moderne character-defining features, contributing to the Historic Commercial District.

The Historic Commercial District was listed on the National Register of Historic Places (NR# 95000354) on March 31, 1995, and includes the department store as a contributing structure. The district exhibits a period of significance spanning from 1854 to 1945 featuring prominent architecture styles such as Late Victorian, Italianate, and Streamline Moderne.

The subject building, which was originally referred to as *The Leader Department Store*, was designed by Hertska and Knowles San Francisco Architects and constructed by William D. Rapp, Santa Rosa contractor. The building was financed by M. Goldman, a Petaluma merchant at the cost of \$52,160.25 and was completed in 1941.¹ Within five years, the commercial store was purchased by W.R. Carithers & Sons in 1946 and its storefront signage was changed from *The Leader* to *Carithers*.

The department store was sold in 1986 to Terese and Mark Thomas, owners of Couches, Etc., a Petaluma business since 1979, who continued the retail use of the building for their furniture sales business.² Other businesses occupying the building included Sleep City and Ramos Furniture. The building, which had been used for general retail and furniture sale uses since opening in 1941, was vacated in 2019 and is currently vacant.

Figure 4: *The Leader Department Store* under construction, 1941.

Courtesy of Sonoma County Library.

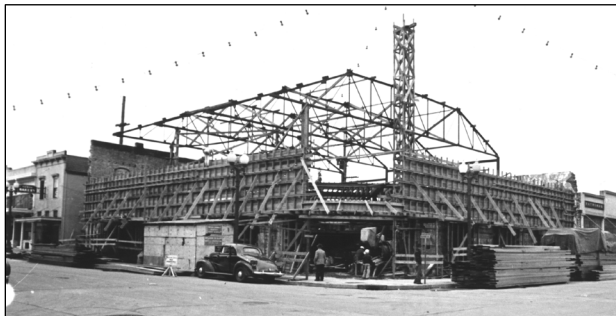
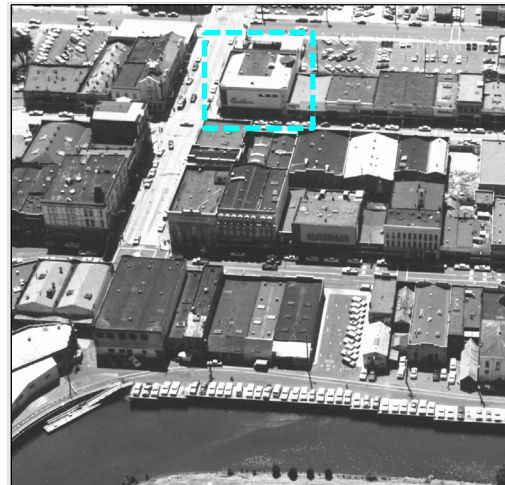


Figure 5: Aerial view of Petaluma, California at the turning basin, August 2, 1965, 2 p.m.

Courtesy of Sonoma County Library.



¹ Petaluma Argu-Courier. *Ground Is Broken For Modern New Leader Store; Contract Awarded To Wm. D. Rapp.* Jan. 16, 1941.

² Rinehart, Katherine. *Streamline-Style Building One of Petaluma's Sleekest.* Sonoma County Library Local History and Genealogy Notes.

Architectural Style

The building was designed in the Streamline Moderne architectural style (1930-1945), emphasizing the “streamline effect” with rounded corners, continuous bands, unadorned surfaces, and window placement. This architectural style was a transitional from the ornamental Art Deco towards the International Style, where simpler lines and forms were used to display aerodynamic qualities.³ Streamline Moderne architectural features were designed to resemble modernization, mass production, and transportation and were applied to diners, hotels, motels, cinemas, early strip malls and shopping centers, seaside marinas, and air and bus terminals.⁴

The department store’s design is mirrored between its East and South façade with the main entrance located in the center of the rounded corner. The building includes a rounded corner with a curved window of a 5x5 window mullion configuration, a continuous ground storefront with glazing covered by a continuous projecting canopy, scored stucco, cursive signage, and a row of horizontal clerestory windows on both primary frontages. Its architectural style and individual architectural features emphasize the building’s display windows, maximizing attention from pedestrians and vehicular drivers crossing the streets and intersections. With the combination of the building’s placement, dominating a corner lot between Western Avenue and Kentucky Street, along with the building’s Streamline Moderne architectural style, the building directs attention and diversifies the historic district’s development and architectural styles.

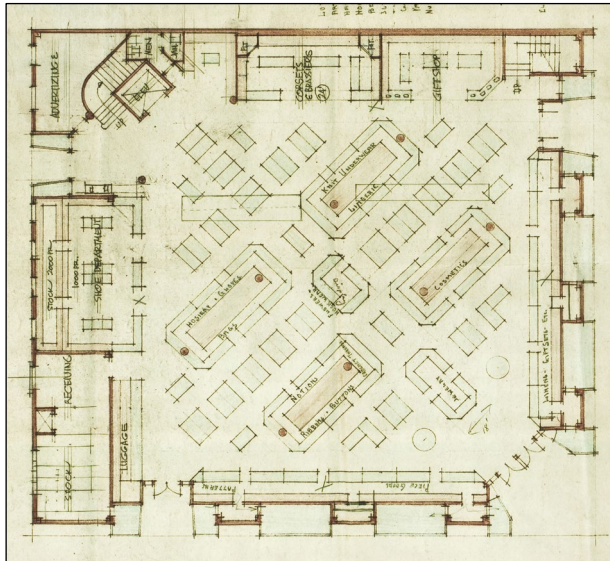
Archived photographs, courtesy of the Sonoma County Library, demonstrate that the building’s structure consists of a combination of steel-and-timber framing and brick walls (refer to Figure 4). The department store’s original open floor plan design allowed for uninterrupted space for various furniture and display pieces. The interior’s design arrangement also reflected its exterior symmetry. The former department store has had minor visible alterations to its exterior facades since its construction and therefore continues to demonstrate a high example of Streamline Moderne in the City of Petaluma’s Historic Commercial District.

Protruding/bay display windows are located on the ground floor at various lengths with steel framing and glazing to the underside of the continuous canopy. Each entrance supports a chamfered display window and tiling. Double doors are located exiting to Western Avenue and Kentucky Street with a set of two double doors in the central curved corner of the building as the main entrance. The *Proposed Project Impact Analysis*, prepared by Page & Turnbull, dated May 6, 2022, stated that the iconic cursive signage was removed in 1986 and that original tripartite steel windows with central casement sashes were replaced in 2012 with tripartite fiberglass windows with sliding sashes.

³ Hernández-Navarro, Hänsel. *Art Deco + Art Moderne (Streamline Moderne): 1920 – 1945*. 2016.

⁴ Ibid.

**Figure 6: *The Leader Department Store*,
First floor plan, September 20, 1940.**
Courtesy of Sonoma County Library.



**Figure 7: *The Leader Department Store*,
Kentucky Street view, 1944.**
Courtesy of Sonoma County Library.



**Figure 8: Renamed *Carithers Department Store*,
Intersection of Western Ave and Kentucky St, 1953.**
Courtesy of Sonoma County Library.



General Plan

The project is located in the Downtown Planning subarea of the General Plan, which is comprised of commercial buildings. This subarea overlaps with the Historic Commercial District area. The project site has a General Plan land use designation of Mixed Use, which includes retail, residential, service commercial, and offices. This land use designation encourages development oriented toward the pedestrian, with parking provided, and allows for a maximum floor area ratio (FAR) for both residential and non-residential uses of 2.5.

Zoning

The project site has a zoning designation of Mixed-Use 2 (MU2) with a Historic Overlay for the Historic Commercial District. The MU zone is applied to the Petaluma downtown and adjacent areas that are intended to evolve into the same physical form and character of development as that in the historic downtown area. The Historic Overlay is added to properties within the City's designated historic districts or individual properties designated as local landmarks.

PROJECT DESCRIPTION

Proposed Project

Amy's Kitchen Corporate office will occupy the entire building, including the ground floor and street frontage areas, as approved by the Minor Use Permit. The re-use of the of the former department store, a 18,722 square foot historic resource, includes interior and exterior alterations.

However, the use of the building does not require exterior alterations from the approvals previously granted. The exterior scope of work includes seismic retrofit, enlargement of existing window openings on East and South facades and change of window type, addition of new windows below the original windows on the East and South elevations, a new double-door with an infill wall at the northernmost entrance on the East facade, a new service door on the West facade, and a new sign on the east elevation. Modifications are also proposed for the interior of the building, including adaptive reuse of the former retail space and the addition of a mezzanine space that would expand the building square footage to approximately 20,000 square feet.

Amy's Kitchen Corporate Office project would contribute to the mix of uses in the area, bring employees into the Downtown core, and contribute to the vitality of the Downtown commercial area in that employees would be likely to frequent retail and restaurant establishments before and after work and during lunch breaks. Furthermore, Amy's Kitchen office headquarters is designed such that the ground floor street frontage provides a pedestrian friendly, interesting, and engaging streetscape. Although private, the ground floor is programmed to be an open collaboration space, functioning similar to a hotel lobby. The existing display windows will remain open, used for collaboration seating areas, product displays, and a reception desk. A lounge area with tasting kitchen will be positioned at the center of the ground floor; bike storage, restrooms, hoteling offices, and a business center and phone booths will be located at the building's rear ground floor. Typical office space uses such as benching desks, office suites, and workstation docking areas will be positioned above the ground floor and street frontage, located on the mezzanine level and second floor.

Only the proposed exterior alterations to this property located within the Historic Commercial District are subject to review by the Historic and Cultural Preservation Committee (HCPC), pursuant to the City's Implementing Zoning Ordinance (IZO) Chapter 15 Historic Preservation, the Secretary of the Interior Standards for the Treatment of Historic Properties, and the district's preservation guidelines. The former department store is a contributing structure to the Historic Commercial District, a district listed on the National Register of Historic Place; therefore, this project is categorically exempt from the California Environmental Quality Act (CEQA), under Section 15301 (Existing Facilities) and Section 15331 (Historical Resource Restoration/Rehabilitation).

Proposed Site Plan

The total site area is approximately 9,147.6 square feet and building exterior walls are located on all property lines so that the building footprint is contemporaneous with the property lines. Telephone Alley is located on the West of the building and is accessible from Western Avenue. The site does not contain parking; however, street parking is available on Kentucky Street and within the adjacent public parking garage. A 12-foot public sidewalk is located on both sides of the principal frontage, facing Western Avenue and Kentucky Street. The proposed project does not increase or otherwise change the building footprint. Site plan changes are limited to the addition of one new public bike rack to be located within the public right-of-way facing Kentucky Street.

Figure 9: Proposed Site Plan.

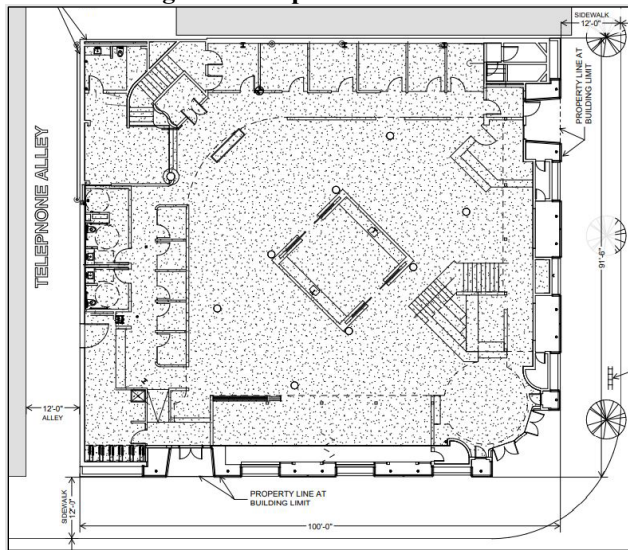


Figure 10: East Façade Rendering.



Figure 11: Proposed Window Arrangement.



Proposed Windows

Primary proposed alterations to the existing building façade include the enlargement of existing window openings on East and South facades and change of window type, along with the addition of new windows below the original windows on the East and South façade. ZFE Structural Engineer provided a Memorandum describing the building's condition assessment which determined the building contains a "soft-story" condition per ASCE 41. This alteration to the windows would respond to current seismic code requirement and the building's current "soft-story" condition. For additional information, *ASCE 7 R-Values in Soft-Story Building Retrofits* research paper clarifies the term "soft-story" as defined in the building code indicates a stiffness discontinuity, while the term "weak story" denotes a strength discontinuity (Table 12.3-2 Vertical Structural Irregularities in ASCE 7-10 (2010)). In practice, buildings with either or both of these irregularities are often referred to as "soft-story" buildings.⁵ *Minimum Design Loads for Buildings and Other Structures*, ASCE/SEI 7-10, provides requirements for general structural design and includes means for determining dead, live, soil, flood, snow, rain, atmospheric ice, earthquake, and wind loads, as well as their combinations, which are suitable for inclusion in building codes and other documents.⁶ Typically, buildings with a soft-story contain large open areas for parking or commercial space such as restaurants or convenience stores on the first floor leaving the building highly vulnerable to damage in an earthquake."⁷

California's Historic Building Code section 8.705.2.1 direct for any unsafe conditions in the lateral-load-resisting system shall be corrected, or alternative resistance shall be provided. ZFE Structural Engineers have also explained ASCE 41 defines a soft story as "the stiffness of the

⁵ Maison SE, Bruce., Matteson SE, Thor., Palmer SE, Keith., and Olson SE, Brian. *ASCE 7 R-Values in Soft-Story Building Retrofits*. 2017 SEAOC Convention Proceedings. Available at: https://cdn.ymaws.com/www.seaoc.org/resource/resmgr/Convention_Proceedings/2017/050_PAPER_Maison.pdf

⁶ ASCE. *Minimum Design Loads for Buildings and Other Structures*.

⁷ City and County of San Francisco, Department of Building Inspection. *Mandatory Soft Story Program*.

seismic-force-resisting system in any story is not less than 70% of the seismic-force-resisting system stiffness in an adjacent story above or less than 80% of the average seismic-force-resisting system stiffness of the three stories above.” Based on the analysis done for the condition assessment, the first story was estimated to have approximately 50% of the stiffness of the second story. The engineers noted that with the project’s proposed design and modifications [enlargement and addition of new windows] the building would no longer be considered to have soft-story structural irregularity.

For the East and South façade, three new punched opening windows would be created below the three existing windows. These punched opening windows would align with existing punched opening windows above. Lastly, the existing first row of windows (frame and glazing) would be replaced. All six windows would be of tripartite metal casement windows for consistency. The design includes a subtle distinction of separation between the windows with squared jabs in the second row of windows unlike the existing jabs in the first row of windows which contains a slightly curved profile. The proposed jab design is further discussed to comply with the Secretary of the Interior’s Standards, Rehabilitation Treatment, Standard #3.

Proposed Signage

A brief description of a Master Sign Plan is included in the Architectural drawing set on drawing SPAR-201. One wall-mounted sign is proposed on the East façade as the primary building identity sign. It is illustrated in the renderings as the “Amy’s Kitchen” company name and logo with *Amy’s* (refer to Figure 10) in a muted gold color. Two secondary door signs are proposed at the entry doors with the company name and logo sign on the glass door sidelight of the primary and south entrance. The entry door sign area is proposed to be less than 20% of the total glass area where the sign is located. A third door sign would be an exit-only glass door on the East façade that provides fire emergency egress would have “EXIT ONLY” text painted on it. A sign permit application is required for the wall-mounted sign and is separate from a building permit application. Sufficient information is provided in this application and staff requests that HCPC consider directing staff to approve a sign permit that is in substantial compliance with what is described in this application and illustrated in the proposed architectural drawings.

Mechanical Equipment

The building previously contained the mechanical equipment within the attic floor level and was not visible from the public right-of-way. New equipment is proposed to adequately support the building’s proposed interior design.

The project proposes installing the new mechanical equipment on the building rooftop instead of its original location within the attic. The proposed roof plan locates the new equipment on the north-easternmost corner of the roof on either side of the existing elevator penthouse, which would reduce its visibility from street level. The proposed roof plan includes mechanical equipment screens of ribbed panels of new fiber cement boards, painted to match the color of the exterior wall (white) and approximately 4 feet above the existing parapet height. The ribbed panels are a solid building element around the new mechanical equipment, reducing visibility of the equipment.

Proposed East Facade

Proposed modifications to the East facade include the alteration of the northernmost historic double door entrance to provide separate access into the fire escape staircase and the main ground floor while retaining the existing door opening. The existing doors’ arrangement with the two

sidelites on either side of the doors would be removed, the historic doors would be reused, and an infill panel would be placed in between the historic doors. The infill wall is a central panel and transom panel to match the canopy and storefront door finish. Curve transition detail at the top of the transom panel would be retained. Exterior lighting fixtures located on the canopy are to be reused. The East elevation also includes the primary *Amy's* wall-mounted sign as mentioned in the previous section. As indicated in the elevation drawing (Figure 12), the East façade contains the enlargement of existing window openings with a change of window type and addition of new windows below the original windows.

Proposed South Façade

Similar to the proposed East façade, the proposed South façade contains the enlargement of existing window openings with a change of window type and addition of new windows below the original windows. Additional features to the South façade include the new door sign at the southernmost entrance doors. Exterior lighting fixtures located on the canopy are also to be reused.

Proposed West Façade

Proposed modifications to the West façade include the enlargement of three existing windows and replacement of existing windows with casement windows with clear glazing. The new window profile and color is proposed to match the historic windows. One smaller window, located to the far left of the West façade and a service door are also replaced within its existing location.

Figure 12: Proposed East Façade.

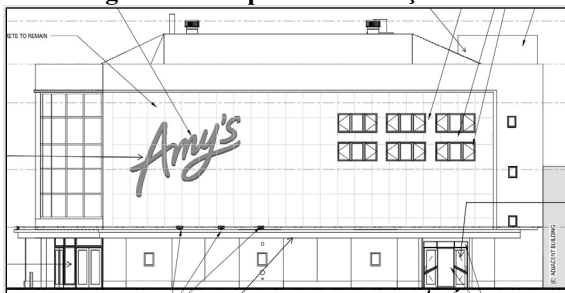


Figure 13: Proposed South Façade.

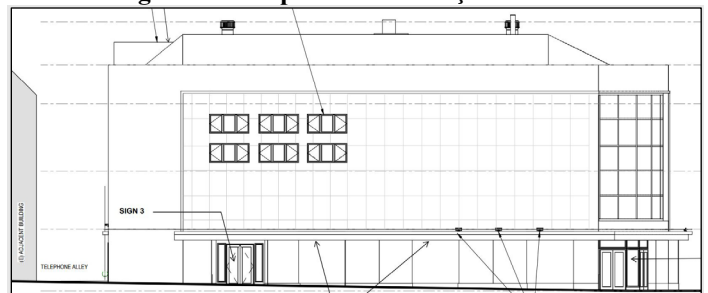
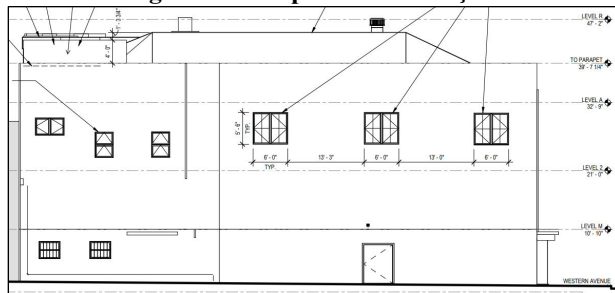


Figure 14: Proposed West Façade.



DISCUSSION

Standards of Review

This project is subject to the following standards of review:

- Petaluma General Plan
- Historic Commercial District Design Guidelines

- Secretary of the Interior’s Standards for Treatment of Historic Properties
- Implementing Zoning Ordinance
 - IZO Chapter 15 (Preservation of the Cultural and Historic Environment)
 - IZO Chapter 18 (Public Art)
 - IZO Section 24.050 (Site Plan and Architectural Review)

Petaluma General Plan

The following discussion provides an analysis of the proposed project against applicable General Plan policies. Staff analysis is provided in *italics* below.

Policy 1-P-13 Maintain Downtown as the City’s geographic and symbolic center and a focus of commercial and cultural activities.

The Historic Commercial District is located in the City’s downtown and includes district’s design guidelines that describes retailing as the main use of nearly all the buildings in the district. About two-thirds are used exclusively to provide goods and services to retail customers. The rest mix retail use on the ground floor with offices or apartments above. The buildings are designed to attract customers on foot. Almost all extend to their lot lines on each side and front the sidewalk directly with no intervening setbacks. Most of the storefronts contain recessed entrances and flanking display windows. The proposed project does not alter the ground floor window displays and engages the vacant building with business activities as Amy’s Kitchen Corporate Office. As such, the project is consistent with this General Plan policy.

Policy 3-P-1 Protect historic and archaeological resources for the aesthetic, cultural, educational, environmental, economic, and scientific contribution they make to maintaining and enhancing Petaluma’s character, identity and quality of life.

The proposed project has been reviewed for consistency with applicable regulations that are intended to protect resources within the Historic Commercial District. Though the building includes alterations to the prominent East and South facades, the proposed design has been implemented in a way that does not impair the historic resource’s character or integrity. As such, the project will protect historic resources that enhance the Historic Commercial District’s character and identity, consistent with this General Plan policy.

Historic Commercial District Design Guidelines

The project is subject to the Standards of Review outlined in Section 4 of the Historic Commercial District Guidelines including consistency with the Secretary of the Interior’s Standards for the Treatment of Historic Properties, a discussion of which is provided in detail in the following sections. Staff’s analysis of the project’s consistency with all other applicable district guidelines is provided below.

4.2 Architectural Style

Section 4.2 describes Petaluma's Downtown as an outstanding sampling of commercial buildings of various architectural styles built during the last quarter of the 19th century and up to 1950, which includes the Streamline Moderne architectural style, dated approximately between 1902 to 1940.

Staff Analysis: The most visual changes proposed by the project are the alterations to the existing windows on both the primary East and South facades to address current seismic code requirement and the building's current "soft-story" condition. Modifications to each of the primary facades include the enlargement of existing window openings, change of window type, along with the addition of new windows below the original windows on the East and South façade, and the existing first row of windows (frame and glazing) would be replaced. All six windows would be of tripartite metal casement windows for consistency. The proposed window alterations continue to support the Streamline Moderne with the new windows placement, style, and use of clear glazing. As such, the project is consistent with this guideline.

4.3 Building Character

The major contributors to a building's overall character are embodied in the general aspects of its setting; the shape of the building, its roof and roof features such as dormers or cupolas; the various projections on the building including awnings and signs; the recesses or voids in a building, such as open galleries, or recessed balconies; the openings for windows and doorways; and finally, the exterior materials.

Staff Analysis: The proposed alterations do not modify the shape of the building, its roof type, canopy projections, locations of doorways, or exterior materials. The building's storefront design and glazing, which played a powerful role for the former department store, will be retained. Other building aspects included signage and windows, which this project proposes to introduce to the building. The project includes a new primary sign on the East façade for "Amy's Kitchen" company name and logo with Amy's (refer to Figure 10) in a muted gold color as a wall-mounted sign. The project also introduces a new second row of windows to the East and South facades in a similar architectural style as the existing row of windows. The combination of new primary signage and new windows does not alter the existing building's sleek building character. As such, the project is consistent with this guideline.

4.4 Storefronts

Section 4.4 of the Historic Commercial District's Design Guidelines provides examples of storefronts related to materiality, including metal, wood, and masonry. Evaluation of the storefront's existing condition, construction materials, architectural features, and relationship to those features to the upper stories would permit for a better understanding of the storefront's role and significance to the overall design of the building.

Staff Analysis: Streamline Moderne's and Moderne architectural styles supported continuous ground floor storefronts to maximize visibility to the display area and into the interior of its department store. The storefront's large glazing provided direct visibility for pedestrians and vehicular drivers. Therefore, the existing storefront design is composed of metal framing and large bay windows. The proposed project does not alter the location, size, or material of the ground floor display windows.

The project modifies the northernmost historic double door entrance of the East façade to provide a separate access into the fire escape staircase. Attention to detail and use of existing materials is supported by reusing the existing doors and placing an infill wall in between. The new door framing is proposed to match the finish of the existing door frame and continue the existing curved transition detail at the top of the transom panel. As such, the project is consistent with this guideline.

4.5-2 Canopies

The design guideline allows for new awnings and canopies to historic shopfronts as they are an important element to the building. Very little guidance is provided for existing canopies.

Staff Analysis: The former department store gracefully supports a continuous canopy within the primary facades facing Kentucky Street and Western Avenue. The canopy is approximately 10 feet, 10 inches in height and follows the curved edge of the building, as an architectural detail to the Streamline Moderne style. The project does not alter the existing canopy design or color. Light fixtures above and on the underside of the canopy are to be reused and kept in their existing locations. As such, the project is consistent with this guideline.

4.6 Paint Color

Section 4.6 of the design guidelines recommend the paint color to be appropriate to the style and setting of the building. Additional recommendations include a color selection that would complement the building, its architectural details, and other buildings on the block.

Staff Analysis: The project proposed to paint the existing building's stucco exterior surface in a white paint color to reflect the building's historic exterior aesthetic. As such, the project is consistent with this guideline.

4.7 Rear Entrances

As indicated in section 4.7, the rear facade and surrounding area should be clean and well maintained, offering an inviting atmosphere that welcomes customers. Refuse containers should be hidden behind a fence or simple enclosure.

Staff Analysis: One rear entrance faces Telephone Alley. The alley is approximately 12 feet wide and is adjacent to a parking garage approximately 40 feet in height. The proposed project does not clutter or introduce additional openings to the ground floor of the rear façade, maintaining a clean and open rear alley space. As conditioned with COA#16, site plan shall include refuse containers at an appropriate location and hidden from the public view with a fence or simple enclosure. As such, the project is consistent with this guideline.

4.8 Mechanical Equipment

Section 4.8 clearly defines mechanical equipment as including, but not limited to, utility equipment, antennas, and roof mounted equipment, requires screening. The method of screening shall be architecturally integrated with the structure in terms of materials, color, shape, and size. Equipment shall be screened by solid building elements (i.e., parapet walls) instead of after-the-fact add-on screening, such as wood or metal slats.

Staff Analysis: The project proposes installing the new mechanical equipment on the building rooftop instead of its original location within the attic. The proposed roof plan locates the new equipment on the north-easternmost corner of the roof on either side of the existing elevator penthouse, which would reduce its visibility from street level. The proposed roof plan includes mechanical equipment screens of ribbed panels of new fiber cement boards, painted to match the color of the exterior wall (white) and approximately 4 feet above the existing parapet height. The ribbed panels are a solid building element around the new mechanical equipment, reducing visibility of the equipment. As such, the project is consistent with this guideline.

5.0 Signs

The Historic Commercial Design Guidelines states that a successful sign can reinforce the image of the Downtown as well as serve the needs of the business. Signs make a significant contribution to the general image and attractiveness of the commercial area. Well-designed signs contribute to the character of a storefront, while expressing something about the visual and economic vitality along a streetscape. Signs serve as symbols for a business, not only identifying the name of the establishment but also communicating the "quality" of the business and expressing the business owner's commitment to maintaining an attractive storefront that is compatible with the streetscape.

The Historic Commercial District Design Guidelines allow a maximum overall sign height of 24 inches and a maximum letter height of 18 inches. The overall sign size is limited to a maximum coverage of one square foot per linear foot of frontage of the business establishment and shall be located no higher than whichever of the following is the lowest point: 25 feet above grade; below the sill line of the second-floor windows; or below the cornice line of the building. The Historic Commercial District Design Guidelines also state that a storefront shall be limited to no more than two signs: one primary and one secondary. The name of the business should be the only message on the primary sign. Secondary signs may inform the customer of products sold or services rendered.

Staff Analysis: The proposed primary signage is currently centered to the left side of the scored stucco surface of the East façade with a sign area to match the former "Carithers" sign area of approximately 250 square-feet. Amy's sign is proposed to be stand-off metal sign and wall-mounted without back-lit illumination. The proposed primary signage is at a larger height than the district design guideline's limit of 24 inches. However, the design makes an attempt to reflect the historic and former "Carithers" sign area and style. HCPC approval for the proposed signage height is required to allow for the signage above 25 feet above grade as limited by the district's design guidelines.

The project's proposed Master Sign Plan includes a total of four signs, which exceeds the district's guideline limit of two signs. However, this building is located on a corner site and could support a total of three signs. Staff recommends that the Master Sign Plan is modified to allow one primary sign wall-mounted on the East façade, one secondary door sign on the main entrance central glass sidelite, and an exit-only glass door on the East façade that provides fire emergency egress would have "EXIT ONLY" text painted on it. As such, the project is consistent with this guideline.

Secretary of the Interior Standards for the Treatment of Historic Properties

The recommendation for project approval is based on the project's consistency with required findings, including consistency with Secretary of the Interior Standards for the Treatment of Historic Properties, Standards for Rehabilitation. Staff's analysis of the project's applicability to the Secretary of the Interior Standards ("Secretary Standards") is included in *italics* below.

- 1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Staff Analysis: The site previously contained multiple low-level commercial and lodging structures prior to the construction of the department store. The department store continued to be occupied by retail businesses until its vacancy. The proposed project rehabilitates the building for Amy's Kitchen Corporate Office introducing business activities to the building. While the approved office use is new to the building, the building would continue to be a contributing structure to the Historic Commercial District. As such, the project is consistent with this standard.

- 2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Staff Analysis: The project does not propose removal of integral historic architectural features related to the "Streamline Moderne" architectural style such as the building's original form, massing, footprint, scored stucco wall finish, flat and continuous parapet, curved corner, projecting band around the upper story, ground floor storefront, continuous canopy, and recessed door entrances.

The project would alter the northernmost historic double door entrance on the East façade to a new double-door with an infill wall to provide separate access into the fire escape staircase and the main ground floor. The infill wall is a central panel and transom panel to match the canopy and storefront door finish. The historic doors are reused with the infill wall in between and its new door framing to match the finish of the existing door frame. Curve transition detail at the top of the transom panel would be retained. Rehabilitating the historic double doors with minor alterations to address and correspond with the interior fire staircase is an appropriate method to the exterior of the building. This continuous the use of the historic entrance doors, matching in material and finish, supporting a cohesive alteration to the existing entryway. As such, the project is consistent with this guideline.

- 3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Staff Analysis: The project does not create a false sense of historical development and does not add conjectural features or architectural elements from other buildings to the building's original Streamline Moderne style. The proposed primary sign reflects the former "Carithers" wall sign; however, it does not replicate the former sign's location, size, or color. Also, the proposed second row of windows on the East and South façade are designed to match the existing first row of windows in architectural style, frame color, and

clear glazing. The proposed window design includes a subtle distinction of separation between the windows with squared jabs in the second row of windows unlike the existing jabs in the first row of windows which contains a slightly curbed profile. As such, the project is consistent with this guideline.

- 4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Staff Analysis: This building's exterior facades, particularly the prominent East and South facades have had very little alteration completed since its original construction. The ground floor shopfronts continue to exhibit the bay windows and chamfered entryways. The historic doors appear to have been partly repainted but retain their decorative three-rail handles. Signage was a prominent feature to the building which was changed from "The Leader" to "Carithers" in 1986 and is no longer on the building.

The project also proposes work within and below the upper windows on the East and South facades. The Proposed Project Impact Analysis completed by Page & Turnbull indicates that these windows had been replaced in 2012 and were originally tripartite steel windows with central casement sashes and are now tripartite fiberglass windows with sliding sashes. The proposed project does not remove or alter changes that have not already been altered such as the signage and upper windows. As such, the project is consistent with this guideline.

- 5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Staff Analysis: As previously stated, the project will preserve the building's Streamline Moderne architectural features which include scored stucco wall finish, flat and continuous parapet, curved corner, projecting band around the upper story, ground floor storefront, continuous canopy, and recessed door entrances. As such, the project is consistent with this standard.

- 6) Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Staff Analysis: The project does not propose repair to the exterior of the building. As such, the project is consistent with this standard.

- 7) Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Staff Analysis: The project does not propose chemical or physical treatments to the historic building. It is conditioned with COA#13, chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible is taken to avoid damage to the historic materials.

- 8) Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.

Staff Analysis: As part of the seismic retrofit, some excavation is likely to occur, but ground disturbance of undisturbed ground is not a part of this project. As conditioned with COA#14, the project is required to comply with measures to protect and preserve significant archeological resources if potentially significant prehistoric or historic archeological resources are encountered during the course of ground disturbing activities. As such, the project is consistent with this standard.

- 9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Staff Analysis: The project does not include new additions to the building. However, the project does introduce new architectural features with the new primary sign on the East façade and a new second row of windows to the East and South facades. The combination of new primary signage and new windows does not alter the existing building's sleek building character.

According to the Proposed Project Impact Analysis, prepared by Page & Turnbull, dated May 6, 2022, "A minimal amount of exterior wall material will be removed to accommodate the additional window openings as required to meet current seismic codes, but the majority of the scored stucco material will remain, and the overall blank character of the facades will remain intact." The Secretary of Interior's Standards for the Treatment of Historic Properties guidelines does not recommend changing the number, location, size, or glazing pattern of windows on primary or highly-visible elevations which will alter the historic character of the building. The guidelines also do not recommend cutting new openings on character-defining elevations or cutting new openings that damage or destroy significant features. However, the addition of the second row of windows is a response to address current seismic code requirement and the building's current "soft-story condition." Therefore, the proposed second row of windows design is a mitigation between the existing condition and the building's architectural style. As such, the project is substantially consistent with this standard.

- 10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Staff Analysis: As previously mentioned, the project does not include new additions to the building. In addition, the proposed new signage, second row of windows on the East and South facades, and the southernmost entrance door on the East façade may be removed in the near future and the essential form and integrity of the historic property would be unimpaired. Caution should continue to be taken if the second row of windows are removed potentially re-introducing the building's existing "soft story" condition. As such, the project is substantially consistent with this standard.

Implementing Zoning Ordinance (IZO)

Chapter 15 - Preservation of the Cultural and Historic Environment

Consistent with Chapter 15 of the IZO, the project requires review and approval by the HCPC as it proposes alterations on a site located within a designated historic district. Furthermore, the HCPC must find that the proposed alterations will not adversely affect the character, or the historical, architectural, or aesthetic interest or value of the district.

Staff Analysis: As stated in detail above, the project has been analyzed pursuant to the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Standards of Review outlined in Section 4 of the Historic Commercial District Design Guidelines. As such, the project has been reviewed in accordance with the requirements contained therein, which state that applications shall be reviewed for consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties with standards for Rehabilitation. As the project meets these standards, the proposed alterations will not adversely affect the overall value of the district, and therefore, approval of the project would be consistent with Chapter 15 of the IZO.

Chapter 18 – Public Art

Following Chapter 18 of the IZO, private or public construction project must have a public art cost of not less than 1% of the construction cost. The developer and/or owner of the private or public construction project must pay a public art in lieu fee equal to the difference between the public art cost and one percent of the construction cost.

Staff Analysis: Based on the exterior scope of the proposed project it appears that this project will trigger a public art requirement to either pay an in-lieu fee equal to 1% of total project costs for the exterior scope or incorporate onsite public art equal to 1% of project budget into the project. As conditioned with COA#17, the project shall comply with Chapter 18 of the IZO, which requires a 1% public art requirement for all non-residential development with a budget greater than \$500,000.

Chapter 24 - Site Plan and Architectural Review

As required by Section 15.050 of the IZO, the project is also subject to the Historic Site Plan and Architectural Review (HSPAR) findings provided in Section 24.050(E). Given the specificity of the Secretary of the Interior's Standards, consistency with these standards as outlined above generally encompass the nature of the Major HSPAR guidelines.

Staff Comment: This staff report includes planning staff's analysis for Amy's Kitchen Corporate Office HSPAR applications and findings for review and consideration by the HCPC.

ENVIRONMENTAL REVIEW

Section 21084 of the Public Resources Code requires the California Environmental Quality Act (CEQA) Guidelines to include a list of classes of projects which have been determined not to have a significant effect on the environment and are therefore exempt from the provisions of CEQA. Pursuant to this requirement, Article 19 of the CEQA Guidelines defines classes of projects, which do not have a significant effect on the environment and are declared to be categorically exempt

from the requirement for preparation of environmental documents.

The former department store is a contributing structure to the Historic Commercial District, a district listed on the National Register of Historic Place; therefore, this project is categorically exempt from the California Environmental Quality Act (CEQA), under Section 15301 (Existing Facilities) and Section 15331 (Historical Resource Restoration/Rehabilitation).

PUBLIC OUTREACH

Public Notice of the July 12, 2022, Historic & Cultural Preservation Committee item was posted in compliance with the Brown Act, and in an effort to solicit initial public comments, public notice of this item was mailed to property owners and tenants within 1,000 feet of the project site and was published in the Argus on June 1, 2022.

PUBLIC COMMENTS

As of the publishing date of this staff report, two public comments in support of the project have been received. Public comments received as an email has been provided for reference as Attachment G.

ATTACHMENTS

- A. Draft HSPAR Resolution
- B. Architectural Set
- C. Interior Demolition Request
- D. Project Narrative Letter
- E. Proposed Project Impact Analysis – Page & Turnbull
- F. Structural Memo – ZFE Engineering
- G. Public Comments
 - 1. J. Patrick Burke – 06-30-2022
 - 2. Irv Piotrkowski – 07-05-2022